

**ORDINANCE NO. 10251 (NEW SERIES)**

**AN ORDINANCE AMENDING THE SAN DIEGO COUNTY ZONING ORDINANCE TO IMPROVE THE COUNTY'S OFF-STREET PARKING REGULATIONS**

**The Board of Supervisors of the County of San Diego ordains as follows:**

**Section 1.** The Board of Supervisors finds and determines that the following amendments will provide a necessary update to the Zoning Ordinance. Changes are being proposed in order to improve the County's off-street parking regulations.

**Section 2.** Section 1110 DEFINITIONS (D) of the Zoning Ordinance is amended to add the term "Drive-Through" in its appropriate alphabetical location to read as follows:

Drive-Through: A building, use, or facility that provides a specified "drive-through" lane or driveway where customers receive a service or purchase goods while remaining in a motor vehicle. Drive-through facilities include fast food restaurants, pharmacies, and financial institutions that provide service windows and/or automated teller machines.

**Section 3.** Section 1110 DEFINITIONS (E) of the Zoning Ordinance is amended to amend the term "Enclosure" to read as follows:

Enclosure: The degree that the storage and display of goods may be open and/or visible from public rights-of-way. The following are enclosure types:

1. Drive-In: Designed or operated so as to enable persons to receive a service or purchase or to consume goods while remaining onsite within a parked motor vehicle.
2. Enclosed: A roofed structure contained on all sides by walls which are pierced only by windows, vents, or customary entrances and exits.
3. Open: Unroofed or not contained on all sides by walls which are pierced only by windows, vents, or customary entrances and exits.
4. Semi-Enclosed: Contained on at least 50 percent of its perimeter by walls which are pierced only by windows, vents, or customary entrances and exits. The open sides of partially open structures shall not be visible from any public right-of-way.

**Section 4.** Section 1110 DEFINITIONS (S) of the Zoning Ordinance is amended to add the term "Stand-Alone" in its appropriate alphabetical location to read as follows:

Stand-Alone: A building, use, or facility that is physically separated from or otherwise unconnected to other buildings, uses or facilities, and that is either: (i) located on a separate lot or parcel from other buildings, uses or facilities; or (ii) located on the same lot or parcel with other buildings, uses or facilities and has its own dedicated parking. A Stand-Alone building, use or facility has required parking that is computed and provided separately from other buildings, uses or facilities.

**Section 5.** Section 6750 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6750 TITLE AND PURPOSE.

Section 6750 through 6799, inclusive, shall be known as the County Parking Regulations. The purpose of these regulations is to provide functional, safe and aesthetically pleasing off-street parking and loading facilities for vehicles and bicycles for each type of land use. The spaces provided are required for use by the employees, tenants, customers and guests of the establishment providing the parking facilities.

**Section 6.** Section 6753 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6753 GENERAL PARKING REQUIREMENTS.

- a. **New Uses and Structures.** A new use and/or structure shall provide the minimum number of parking and bicycle spaces specified in the Parking Schedules of the County Parking Regulations.
- b. **Existing Uses and Structures.** A previously permitted existing use and/or structure shall not reduce parking or bicycle spaces unless the reduced number of parking spaces still provided for the use and/or structure meets the minimum requirements of the County Parking Regulations for that use and/or structure.
- c. **Conversion, Alterations or Expansion of an Existing Use or Structure.** A previously permitted existing use and/or structure that is converted, altered or expanded shall provide additional parking spaces to accommodate the increase in capacity and/or intensity. This additional parking shall be provided unless the existing parking meets the parking requirements of the County Parking Regulations for the entire use and/or structure.
- d. **Availability.** Parking and Loading spaces shall be marked, maintained, and permanently available for the use they are intended to serve. Owners, lessees, tenants, or persons having control of the parking or loading spaces shall not prevent, prohibit or restrict the use of parking and loading spaces.
- e. **Usage.** Required parking and loading areas shall be used exclusively for the parking and loading of vehicles and shall not be used for the sale, lease, display, repair, or storage of vehicles, trailers, boats, campers, mobile homes, merchandise or equipment without a required County permit or approval, except where allowed by County Parking Regulations.
- f. **Exceptions.** Notwithstanding the general parking requirements set forth in subsections a. and c. above, parking requirements for uses conducted pursuant to a use permit, Historic District Site Plan, or community design review Site Plan in a Special Parking District, shall be determined in accordance with Sections 6782 and/or 6783. In communities with Village Zoning, such as Fallbrook, parking requirements shall be determined in accordance with the Parking Regulations for each zone. (See Section 8000 et seq. of the Zoning Ordinance).

- g. Community Plan Policies. In the event that an applicable community plan contains policies relative to parking, those policies shall be considered when determining parking counts and design.

**Section 7.** Section 6754 is hereby added to the San Diego County Zoning Ordinance to read as follows:

6754      ADDITIONAL PARKING REQUIREMENTS FOR ACCESSORY AND SPECIAL USES.

Parking standards for the following accessory and special uses shall be required as specified in the following sections of the Zoning Ordinance:

- Section 6156:      Second Dwelling Units  
                          Family Day Care Home for Children, Large (9-14 Children)  
                          Bed & Breakfast Home  
                          Host Home  
                          Agricultural Homestay
- Section 6370:      Senior Projects and Density Bonus Projects
- Section 6910:      Wineries
- Section 6911:      Emergency Shelters
- Section 6912:      Community Gardens
- Section 6970:      Recycle Facilities

Parking standards for accessory uses not listed above shall be determined pursuant to the Parking Schedule of the County Parking Regulations and shall be required in addition to the parking requirements for the primary use.

**Section 8.** Section 6755 is hereby added to the San Diego County Zoning Ordinance to read as follows:

6755      ACCESSIBLE PARKING REQUIREMENTS.

The Americans with Disabilities Act (ADA) governs the construction and alteration of public places, commercial facilities, and state and local government facilities to accommodate and provide adequate facilities for persons with disabilities. Accessible parking spaces shall adhere to the requirements of the California Building Code (Chapter 11B) for Accessible Parking standards as found in Title 24 of the California Code of Regulations.

**Section 9.** Section 6756 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6756      COMPUTATION OF REQUIRED PARKING AND BICYCLE SPACES.

- a. Separate Uses. The off-street parking spaces required for 2 or more uses on the same lot or parcel shall be the sum of the spaces required for each use or structure computed separately. A reduction in required parking may be requested in accordance with Section 6784.
- b. For purposes of computing required parking spaces, the following terms shall apply:

1. Bedrooms. Where the number of bedrooms is specified as the means for calculating required residential parking spaces, dens, studies, studios, libraries, recreation rooms, sewing rooms, hobby rooms, work rooms or similar rooms shall be considered as bedrooms if they contain at least 70 square feet of floor area.
  2. Gross Floor Area (GFA) shall be determined by the total area expressed in square feet of all floors measured between the exterior walls of a building.
  3. Employees. Where number of employees is specified as the means of calculating required parking spaces, the employees counted are those who work on the premises during the largest work shift during the peak employment season.
  4. Occupancy. Where the maximum number of persons or seating capacity is specified as the means of calculating required parking spaces, the maximum occupancy shall be that permitted for the use or structure by the County Building Code.
- c. Rounding. In computing the required number of parking spaces or bicycle spaces, fractions of .5 or larger shall be rounded up to the next whole number. Fractions less than .5 shall be disregarded, except that when a use or structure requires 4 or fewer parking spaces, excluding bicycle spaces, any fraction shall be rounded up to the next whole number.

**Section 10.** Section 6757 is hereby added to the San Diego County Zoning Ordinance to read as follows:

**6757 OFF-STREET PARKING REGULATIONS BY MAJOR LAND USE CATEGORY**

Sections 6758 through 6783 categorize the off-street parking regulations by major land use category. The County of San Diego classifies land uses within the following broad categories:

Section	Land Use Category	Description
6758	Residential	Property used by individuals and families for private residences or dwellings.
6760	Transient Habitation	Temporary or short-term lodging services. May include a hotel, motel, cabin, or campground.
6762	Commercial	Uses intended for retail, wholesale, office, or services.
6764	Civic	Uses that serve the community at large, including public spaces and structures that provide direct or indirect services to the public.
6772	Industrial and Storage	Uses intended for manufacturing or storage facilities.
6778	Agricultural	Land used for the growing of agriculture.
6780	Other Occupancies and Uses	Uses not included in the land use categories within Sections 6758 through 6783.
6782	Use Permits and Historic District Site Plans	Uses conducted pursuant to a use permit or to a Historic District Site Plan.
6783	Special Parking Districts	Uses conducted within a Special Parking District as designated in Section 5761.

**Section 11.** Section 6758 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

**SCHEDULE OF OFF-STREET PARKING REQUIREMENTS**

**6758 PARKING REQUIREMENTS: RESIDENTIAL**

Type of Occupancy Use or Structure	Off-Street Parking
<b>Single Family</b> Detached, Semi-Detached/Attached, Duplex Recreation Center in Planned Developments Bicycle Parking	The Sum of the Following: 2 Parking spaces per dwelling unit 0.1 Parking space per dwelling unit None Required
<b>Multi-Dwellings</b> (3 units or more on a single lot) Studio, 1 and 2 Bedroom 3 or More Bedrooms Guest Parking <sup>1</sup> Recreation Center (> 1,000 sq.ft.) Bicycle Parking	The Sum of the Following: 1.5 Parking spaces per dwelling unit 2 Parking spaces per dwelling unit 0.2 Parking space per dwelling unit 0.1 Parking space per dwelling unit 0.5 space per dwelling unit
<b>Mobile Home Residential</b> Mobile Home Dwelling Unit Guest Parking <sup>1</sup> Recreation Center (> 1,000 sq.ft.) Bicycle Parking	The Sum of the Following: 2 Parking spaces per dwelling unit 0.2 Parking space per dwelling unit 0.1 Parking space per dwelling unit None Required
<b>Group Residential</b> Boarding Houses (permanent), Fraternity/Sorority Houses, Dormitories, Student Housing, Convents/Monasteries Bicycle Parking	0.75 Parking space per person <i>(Based on the total occupancy permitted by the County Building Code)</i> 0.25 Bike space per person (except for Convents/Monasteries)
<b>Multiple-Unit Housing for Senior Citizens</b> Dwelling Unit/ Bedroom Guest Parking Bicycle Parking	The Sum of the Following: 1.5 Parking spaces per dwelling unit/bedroom 0.2 Parking space per dwelling unit/bedroom None Required
<b>Residential Care Facilities</b> Employee Parking Guest Parking Bicycle Parking	The Sum of the Following: 1 Parking space per employee <i>(Largest work shift)</i> 0.33 Parking space per bedroom None Required
<b>Accessory Apartment</b>	1 Parking Space <sup>2</sup>

<sup>1</sup> Up to one-third of the required guest parking may be met by on-street parking on an abutting public or private street, provided that the street is improved to County standards with provision for on-street parking.

<sup>2</sup> Space shall not be in tandem with any other required space.

**Section 12.** Section 6760 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

**6760 PARKING REQUIREMENTS: TRANSIENT HABITATION**

Type of Occupancy Use or Structure	Off-Street Parking
<b>Campground, RV Parks</b> Bicycle Parking	1 Parking space per campsite or RV None Required
<b>Lodging</b> Hotels, Motels, Resorts, and Spas Bicycle Parking	1 Parking space per guest room None Required
<b>Boarding Houses (Transient)</b> Bicycle Parking	1 Parking space per habitation room None Required

**Section 13.** Section 6762 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

**6762 PARKING REQUIREMENTS: COMMERCIAL**

Type of Occupancy Use or Structure	Off-Street Parking
<b>PERSONAL SERVICES</b>	
<b>Commercial Office</b> Bicycle Parking	4 Parking spaces per KSF GFA 0.1 Bike space per car space but not less than 3
<b>Financial Institution</b> Bank, Savings and Loan (including banks with and without drive-through teller or ATM service) Drive-Through Vehicle Stacking Provision Bicycle Parking	4 Parking spaces per KSF GFA 3 Vehicles (60 feet) minimum per teller/ATM lane 0.1 Bike space per car space but not less than 3
<b>Eating and Drinking Establishment</b> Excluding Stand-Alone Fast-Food Up to 3,000 Square Feet	The Greater Of: 6 Parking spaces per KSF GFA OR 0.2 Parking spaces per person <i>(Based on capacity of fixed or movable seating as permitted by the County Building Code)</i>

Type of Occupancy Use or Structure	Off-Street Parking
<p style="text-align: center;">More than 3,000 Square Feet</p> <p style="text-align: right;">Bicycle Parking</p>	<p>The Greater Of:</p> <p>10 Parking spaces per KSF GFA</p> <p>OR</p> <p>0.33 Parking spaces per person <i>(Based on capacity of fixed or movable seating as permitted by the County Building Code)</i></p> <p>0.1 Bike space per car space but not less than 3</p>
<p><b>Stand-Alone Fast-Food Restaurant</b></p> <p style="text-align: center;">With Drive-Through Window</p> <p style="text-align: center;">Drive-Through Vehicle Stacking Provision</p> <p style="text-align: right;">Bicycle Parking</p>	<p>12 Parking spaces per KSF GFA</p> <p>9.5 Parking spaces per KSF GFA</p> <p>4 Vehicles (80 feet) minimum from the menu board</p> <p>0.1 Bike space per car space but not less than 3</p>
<p><b>Laundromat</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>0.33 Parking spaces per washing machine</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Dry Cleaner</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>3.3 Parking spaces per KSF GFA</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Barber Shop or Hair Salon</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>2.5 Parking spaces per chair/station</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Funeral Parlor and Mortuary</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>The Sum of the Following:</p> <p>0.25 Parking space per fixed seat</p> <p>10 Parking space per KSF of non-fixed seating area in gathering room</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Post Office Annex</b></p> <p style="text-align: center;">Including Privately Owned P.O. Box and Package Receipt Centers</p> <p style="text-align: right;">Bicycle Parking</p>	<p>2.5 Parking spaces per KSF GFA</p> <p>0.1 Bike space per car space but not less than 3</p>
<b>RETAIL</b>	
<p><b>Retail Sales and Services</b></p> <p>Includes Personal Services and Repair Services</p> <p><i>Retail sales and services other than those specifically listed in this table</i></p> <p style="text-align: right;">Bicycle Parking</p>	<p>4.5 Parking spaces per KSF GFA</p> <p><i>(Total eating, drinking and entertainment uses cannot exceed 15% of project's GFA. Otherwise the floor area that exceeds 15% shall be calculated according to stand-alone eating and drinking establishment use parking requirements)</i></p> <p>0.1 Bike space per car space but not less than 3</p>
<p><b>Gasoline Station</b></p> <p style="text-align: center;">Without accessory retail sales and/or service</p> <p style="text-align: right;">Bicycle Parking</p>	<p>1. Parking space per employee but not less than 3 <i>(largest work shift)</i></p> <p>0.05 Bike space per car space but not less than 3</p>

Type of Occupancy Use or Structure	Off-Street Parking
<p>With accessory retail sales and/or service</p> <p style="text-align: right;">Bicycle Parking</p>	<p>4 Parking spaces per KSF GFA <i>(Parking requirement does not include spaces normally provided adjacent to gas pumps for fueling vehicles or service bays)</i></p> <p>0.1 Bike space per car space but not less than 3</p>
<p><b>Liquor Store</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>3.3 Parking spaces per KSF GFA</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Stand-Alone Discount Club Store</b> Includes Wholesale Warehouse-type Stores</p> <p style="text-align: right;">Bicycle Parking</p>	<p>5.5 Parking spaces per KSF GFA</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Stand-Alone Drugstore</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>3.5 Parking spaces per KSF GFA</p> <p>0.1 Bike space per car space but not less than 3</p>
<p><b>Stand-Alone Furniture and Appliance Sales</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>3.5 Parking spaces per KSF GFA</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Stand-Alone Home Improvement Store</b> Includes Building Materials and Lumber Stores</p> <p style="text-align: right;">Bicycle Parking</p>	<p>3.5 Parking spaces per KSF GFA <i>(Outdoor sales area shall be included in total GFA)</i></p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Building Supply Yards</b> Includes Lumber, Plant Nurseries, Brick, Stone, and Gravel</p> <p style="text-align: right;">Bicycle Parking</p>	<p>0.5 Parking spaces per KSF of display area</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Construction Sales, Service, and Rental</b> Contractors office and outside service area</p> <p style="text-align: right;">Bicycle Parking</p>	<p>The Greater Of:</p> <p>1.5 Parking spaces per employee <i>(largest work shift)</i></p> <p>OR</p> <p>3.3 Parking spaces per KSF GFA</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Automotive or Equipment Sales and Service</b></p> <p style="text-align: right;">Automotive Service Only Bicycle Parking</p>	<p>3.3 Parking spaces per KSF GFA</p> <p>3 Parking spaces per repair stall</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Automotive Rental</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>The Greater Of:</p> <p>2.5 Parking spaces per employee <i>(largest work shift)</i></p> <p><i>(Plus 1 parking space per rental vehicle stored on-site)</i></p> <p>OR</p> <p>5 Parking spaces per KSF GFA <i>(Plus 1 parking space per rental vehicle stored on-site)</i></p> <p>0.05 Bike space per car space but not less than 3</p>



Type of Occupancy Use or Structure	Off-Street Parking
<b>Swap Meet</b>  Bicycle Parking	6.5 Parking spaces per KSF GFA 0.1 Bike space per car space but not less than 3
<b>SPORTS AND ENTERTAINMENT</b>	
<b>Participant Sports and Recreation (Indoor)</b> Health Club, Gym, Video Arcade, Skating Rink, Billiard/Pool Hall, Multipurpose Recreational Facility (Other than those specifically listed in this table)  Bicycle Parking	6 Parking spaces per KSF GFA  0.1 Bike space per car space but not less than 3
<b>Participant Sports and Recreation (Outdoor)</b> As Required below for Specific Uses: Sports Courts (e.g. tennis, basketball, etc.) Ball Fields Group Picnic Areas  Passive Useable Turf Areas for Informal Play  Children's Play Area Swimming Pool  Skate Park  Boat Launch Ramp  Bicycle Parking	The Sum of the Following that Apply:  3 Parking spaces per court 20 Parking spaces per ball field 1.5 Parking spaces per picnic table  0.2 Parking space per KSF  5 Parking spaces per KSF 10 Parking spaces per KSF of water surface  5 Parking spaces per KSF of skating area  10 Parking spaces per ramp plus 10 Parking spaces (10' wide x 45' long) for vehicles with boat trailers  Individual sports and recreational uses shall include bicycle racks to accommodate 0.05 bike space per car space but not less than 5 bicycle spaces
<b>Bowling Alley</b>  Bicycle Parking	6 Parking spaces per alley (Plus requirements for accessory uses) 0.1 Bike space per car space but not less than 3
<b>Driving Range</b>  Bicycle Parking	The Sum of the Following: 1 Parking space per tee plus 1 Parking space per employee but not less than 3 (Largest work shift) (Plus requirements for accessory uses) 0.05 Bike space per car space but not less than 3

Type of Occupancy Use or Structure	Off-Street Parking
<b>Golf Course</b>	6 Parking spaces per hole <i>(Plus requirements for accessory uses)</i>
Bicycle Parking	0.05 Bike space per car space but not less than 3
<b>Miniature Golf Course</b>	3 Parking spaces per hole
Bicycle Parking	0.1 Bike space per car space but not less than 3
<b>Tennis, Racquetball and Handball Facility</b>	4 Parking spaces per court <i>(Plus requirements for accessory uses)</i>
Bicycle Parking	0.1 Bike space per car space but not less than 3
<b>Spectator Sports and Entertainment</b>	0.25 Parking spaces per seat
Bicycle Parking	0.1 Bike space per car space but not less than 3
<b>Live Theater and Movie Theater</b>	0.35 Parking spaces per seat
Bicycle Parking	0.1 Bike space per car space but not less than 3
<b>ANIMAL SERVICES</b>	
<b>Veterinarian Clinic or Hospital</b>	The Sum of the Following: 2.5 Parking spaces per examination room 1 Parking space per employee/doctor but not less than 4 <i>(Largest work shift)</i>
Bicycle Parking	0.05 Bike space per car space but not less than 3
<b>Commercial Equine Stable</b>	0.2 Parking space per stall
Bicycle Parking	0.05 Bike space per car space but not less than 3
<b>Commercial Kennel</b>	2 Parking spaces per KSF GFA
Bicycle Parking	0.05 Bike space per car space but not less than 3

Note: KSF GFA: Thousand Square Feet of Gross Floor Area

**Section 14.** Section 6764 is hereby added to the San Diego County Zoning Ordinance to read as follows:

6764 PARKING REQUIREMENTS: CIVIC

Type of Occupancy Use or Structure	Off-Street Parking
<b>Library, Museum, Art Gallery</b>	3 Parking spaces per KSF GFA
Bicycle Parking	0.1 Bike space per car space but not less than 3
<b>Community Center</b>	3.5 Parking space per KSF GFA
Bicycle Parking	0.1 Bike space per car space but not less than 3
<b>U.S. Post Office (Leased Land)</b>	30 Parking spaces per KSF GFA
Bicycle Parking	0.1 Bike space per car space but not less than 3

Type of Occupancy Use or Structure	Off-Street Parking
<p><b>Fire Station</b></p> <p style="text-align: right;">Guest Parking</p> <p style="text-align: right;">Bicycle Parking</p>	<p>The Sum of the Following:</p> <p>1 Parking space per employee <i>(Largest work shift)</i></p> <p>3 Parking spaces <i>(Plus additional on-site parking required for fire trucks/vans assigned to the station)</i></p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Police Station</b></p> <p style="text-align: right;">Guest Parking</p> <p style="text-align: right;">Bicycle Parking</p>	<p>The Sum of the Following:</p> <p>1 Parking space per employee <i>(Largest work shift)</i></p> <p>3 Parking spaces <i>(Plus additional on-site parking required for police station vehicle fleet including motorcycles)</i></p> <p>0.1 Bike space per car space but not less than 3</p>
<b>PUBLIC ASSEMBLY</b>	
<p><b>Religious Assembly</b> Church, Synagogue, Temple, Mission</p> <p style="text-align: right;">Bicycle Parking</p>	<p>0.25 Parking space per person <i>(Based on total occupancy of the largest assembly room permitted by the County Building Code)</i></p> <p>0.1 Bike space per car space but not less than 3</p>
<p><b>Park</b></p> <p style="text-align: right;">Passive Uses</p> <p style="text-align: right;">Structured Active Uses <i>(e.g. basketball, tennis, ball fields, etc.)</i></p> <p style="text-align: right;">Bicycle Parking</p>	<p>4 Parking spaces per acre</p> <p>10 Parking spaces per acre</p> <p>Park uses shall include bicycle racks to accommodate 0.05 bike space per car space but not less than 5 bicycle spaces</p>
<p><b>Conference Center / Auditorium</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>0.25 Parking space per seat</p> <p>0.1 Bike space per car space but not less than 3</p>

Type of Occupancy Use or Structure	Off-Street Parking
<p><b>Private Club</b></p> <p>Lodge Hall, Union Hall</p> <p>Bicycle Parking</p>	<p>0.35 Parking space per person if fixed seating is provided.</p> <p><i>(Based on total occupancy of the largest assembly room permitted by the County Building Code)</i></p> <p>OR</p> <p>35 Parking spaces per KSF in the largest assembly room if fixed seating is not provided</p> <p><i>(Plus requirements for accessory uses if such uses will be active at the same time as the largest assembly room)</i></p> <p>0.05 Bike space per car space but not less than 3</p>
<b>EDUCATIONAL INSTITUTIONS – PUBLIC AND PRIVATE</b>	
<p><b>Child Day-Care and Small Schools</b></p> <p>Primary Use Day-Care Center and Pre-School</p> <p>Drop-Off Area</p> <p>Bicycle Parking</p>	<p>The Sum of the Following:</p> <p>1 Parking space per employee plus</p> <p>0.2 Parking space per child if drop-off and pick-up area is not provided</p> <p>OR</p> <p>0.1 Parking space per child if adequate drop-off and pick-up area is provided as determined by the Director</p> <p>Drop-off areas must be designed to accommodate a continuous flow of vehicles during peak periods and allowing for safe drop-off and pick-up of passengers. The adequacy of proposed drop-off/pick-up areas shall be determined by the Director.</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Elementary School</b></p> <p>School Auditorium</p> <p>Drop-Off Areas</p> <p>Bicycle Parking</p>	<p>The Sum of the Following:</p> <p>1 Parking space per employee</p> <p>5 Parking spaces for visitors</p> <p>0.2 Parking space per seat minus employee and visitor spaces provided above</p> <p>Drop-off areas must be designed to accommodate a continuous flow of vehicles during peak periods and allowing for safe drop-off and pick-up of passengers. The adequacy of proposed drop-off/pick-up areas shall be determined by the Director.</p> <p>0.25 Bike space per student</p>

Type of Occupancy Use or Structure	Off-Street Parking
<p><b>Junior High School or Middle School</b></p> <p style="text-align: right;">School Auditorium</p> <p style="text-align: right;">Drop-Off Areas</p> <p style="text-align: right;">Bicycle Parking</p>	<p>The Sum of the Following:</p> <p>1 Parking space per employee</p> <p>10 Parking spaces for visitors</p> <p>0.2 Parking space per seat minus employee and visitor spaces provided above</p> <p>Drop-off areas must be designed to accommodate a continuous flow of vehicles during peak periods and allowing for safe drop-off and pick-up of passengers. The adequacy of proposed drop-off/pick-up areas shall be determined by the Director.</p> <p>0.2 Bike space per student</p>
<p><b>Senior High School</b></p> <p>Auditorium, Basketball Stadium, or Football Stadium <i>(whichever has the greatest occupancy)</i></p> <p style="text-align: right;">Bicycle Parking</p>	<p>The Sum of the Following:</p> <p>1 Parking space per employee</p> <p>15 Parking spaces for visitors</p> <p>0.25 Parking spaces per student</p> <p>0.2 Parking space per seat minus employee, visitor, and student spaces provided above</p> <p>0.1 Bike space per student</p>
<p><b>College and University</b> (Educational institutions beyond the 12<sup>th</sup> grade)</p> <p>Auditorium, Basketball Stadium, or Football Stadium <i>(whichever has the greatest occupancy)</i></p> <p style="text-align: right;">Bicycle Parking</p>	<p>The Sum of the Following:</p> <p>0.7 Parking spaces per faculty member/staff</p> <p>0.3 Parking spaces per student</p> <p>25 Parking spaces for visitors</p> <p>0.2 Parking space per seat minus employee, visitor, and student spaces provided above</p> <p>0.05 Bike space per student</p>
<p><b>Other Educational Institutions</b> Including Private or Charitable Institutions Offering Instruction, Training, or Learning Opportunities <i>When located in a commercial center consisting of 10 KSF GFA or more and this use does not comprise more than 25% of the total GFA of the commercial center, this section does not apply. See Section 6762 Retail Sales and Services.</i></p> <p style="text-align: right;">Bicycle Parking</p>	<p>1 Parking space per employee plus</p> <p>The Greater of the Following:</p> <p>0.5 Parking space per student/trainee, OR</p> <p>0.3 Parking space per KSF GFA</p> <p>0.1 Bike space per student</p>
<b>MEDICAL CARE FACILITIES</b>	
<p><b>Hospital</b> Acute, General</p> <p style="text-align: right;">Bicycle Parking</p>	<p>2.5 Parking spaces per bed</p> <p>0.05 Bike space per car space but not less than 3</p>
<p><b>Medical Office</b></p> <p style="text-align: right;">Bicycle Parking</p>	<p>5 Parking spaces per KSF GFA</p> <p>0.1 Bike space per car space but not less than 3</p>

Type of Occupancy Use or Structure	Off-Street Parking
<b>Other Medical Care Facilities</b> Other Facilities Providing Overnight Medical Care (e.g. mental/psychiatric institutions, intermediate care homes, nursing homes, etc.)	0.33 Parking spaces per bed
Bicycle Parking	0.05 Bike space per car space but not less than 3

Note: KSF GFA: Thousand Square Feet of Gross Floor Area

**Section 15.** Section 6766 of the San Diego County Zoning Ordinance is hereby repealed.

**Section 16.** Section 6770 of the San Diego County Zoning Ordinance is hereby repealed.

**Section 17.** Section 6772 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6772 **PARKING REQUIREMENTS: INDUSTRIAL AND STORAGE**

Type of Occupancy Use or Structure	Off-Street Parking
<b>Research and Development</b>  Bicycle Parking	3 Parking spaces per KSF GFA  0.1 Bike space per car space but not less than 3
<b>General Manufacturing</b> Including Uses Where the Primary Activity is the Conversion of Raw Materials or Parts into Finished Products  Bicycle Parking	1.5 Parking spaces per KSF GFA <i>(Office space cannot exceed 25% of total facility GFA. Requirement for excess office floor area shall be calculated according to stand-alone commercial office use parking requirements)</i>  0.1 Bike space per car space but not less than 3
<b>Light Manufacturing</b> Including Printing, Material Testing, Light Assembly, etc.  Bicycle Parking	1 Parking space per KSF GFA <i>(Office space cannot exceed 25% of total facility GFA. Requirement for excess office floor area shall be calculated according to stand-alone commercial office use parking requirements)</i>  0.1 Bike space per car space but not less than 3
<b>Industrial Park</b> Including a mix of Light Industrial, Manufacturing, Service, and Warehousing  Bicycle Parking	2 Parking spaces per KSF GFA <i>(Office space cannot exceed 25% of total facility GFA. Requirement for excess office floor area shall be calculated according to stand-alone commercial office use parking requirements)</i>  0.1 Bike space per car space but not less than 3

6772 PARKING REQUIREMENTS: INDUSTRIAL AND STORAGE

Type of Occupancy Use or Structure	Off-Street Parking
<b>Recycling Center</b>  <div style="text-align: right;">Bicycle Parking</div>	The Sum of the Following: 1 Parking space per employee but not less than 5 ( <i>Largest work shift</i> ) PLUS 0.33 Parking spaces per KSF site area 0.05 Bike space per car space but not less than 3
<b>Salvage Yard</b> Scrap Metal Processing, Motor Vehicle Dismantling, Junk Yard  <div style="text-align: right;">Bicycle Parking</div>	0.2 Parking spaces per KSF  0.05 Bike space per car space but not less than 3
<b>Moving and Storage Business</b>  <div style="text-align: right;">Bicycle Parking</div>	0.5 Parking spaces per KSF GFA 0.05 Bike space per car space but not less than 3
<b>Self Storage / Mini Storage Warehouse</b>  <div style="text-align: right;">Bicycle Parking</div>	The Sum of the Following: 0.015 Parking space per storage unit PLUS 2 Parking spaces for caretaker's dwelling, if applicable 0.05 Bike space per car space but not less than 3
<b>General Warehousing and Storage</b>  <div style="text-align: right;">Bicycle Parking</div>	The Sum of the Following: 1 Parking space per KSF GFA up to 20 KSF PLUS 0.5 Parking spaces per KSF GFA over 20 KSF 0.05 Bike space per car space but not less than 3
<b>Outdoor Storage Yard</b> Contractor, General, Building Materials, Vehicles, Construction Equipment  <div style="text-align: right;">Bicycle Parking</div>	0.4 Parking spaces per KSF GFA  0.05 Bike space per car space but not less than 3

Note: KSF GFA: Thousand Square Feet of Gross Floor Area

**Section 18.** Section 6778 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6778 PARKING REQUIREMENTS: AGRICULTURAL

Type of Occupancy Use or Structure	Off-Street Parking
<b>General Agricultural</b> Horticulture, Crop Production, Animal Production  <div style="text-align: right;">Bicycle Parking</div>	None Required  None Required

**Section 19.** Section 6780 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6780 PARKING REQUIREMENTS: OTHER OCCUPANCIES AND USES

Type of Occupancy Use or Structure	Off-Street Parking
Other occupancies, uses and buildings not specified elsewhere in the Parking Schedules.	3.3 Parking spaces per KSF GFA
Bicycle Parking	0.1 Bike space per car space but not less than 3

**Section 20.** Section 6782 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6782 PARKING REQUIREMENTS: USE PERMITS AND HISTORIC DISTRICT SITE PLANS

Type of Occupancy Use or Structure	Off-Street Parking
Uses conducted pursuant to a use permit or to a Historic District Site Plan.	The number of off-street parking, loading, and bicycle spaces shall be as required by the use permit or Historic District Site Plan. To the extent that the use permit or Historic District Site Plan does not specify the number of parking, loading, or bicycle spaces, the requirements of these Parking Regulations shall apply. Notwithstanding the parking requirements of this section, where a Historic District Site Plan pursuant to Section 5749 a has been waived or exempted by the Director, existing buildings which are expanded or renovated shall be required to provide off-street parking only as determined by the Director to be feasible.

**Section 21.** Section 6783 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6783 PARKING REQUIREMENTS: SPECIAL PARKING DISTRICTS

Type of Occupancy Use or Structure	Off-Street Parking
Uses conducted within a Special Parking District as designated in Section 5761.	The number of off-street parking, loading, and bicycle spaces shall be determined according to the provisions of Section 5761 c. Notwithstanding the parking requirements of this section, where the Site Plan required at Section 5761 c. has been waived or exempted by the Director, existing buildings which are expanded or renovated shall be required to provide off-street parking only as determined by the Director to be feasible, taking access from an alley or side street. The number of spaces shall be as close as possible to the



	number which would be required if the Special Parking District did not exist.
--	---

**Section 22.** Section 6784 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6784      **REDUCTION OF PARKING SPACES.**

- a. **Parking Assessment District.** The number of required parking spaces for uses and structures located within an assessment district formed to provide off-street parking shall be reduced by the number of parking spaces provided by the assessment district which are attributable to the subject property. For purposes of this Section, the parking spaces shall be attributed to each lot or parcel in the same ratio that the assessed value of the subject parcel bears to the total assessed value of the assessment district, unless the Board of Supervisors determines that the parking spaces should be attributed to individual parcels in another manner.
- b. **Parking Reduction for Multi-Use and/or Mixed-Use Development.** A parking reduction may be approved by the Director where it can be demonstrated that two or more adjacent multi-use and/or mixed-use developments on one or more lots or parcels have distinctly different parking demand patterns that allow for the shared use of parking spaces without conflict. Shared parking is most effective when land uses have distinctly different activity periods such as day and night or weekday and weekend. Shared parking reductions may apply to either new or existing development.

Requirements for approval of shared parking reductions are as follows:

1. **Administrative Permit Is Required.** An Administrative Permit, in accordance with Sections 7050 through 7074, shall be required for the sharing of parking spaces. The Administrative Permit shall apply to every property subject to the shared parking arrangement. In addition to the findings required by Section 7060, the following additional findings are required:
  - i. The parking spaces to be provided for shared parking would be available as long as the uses requiring the spaces lawfully exist.
  - ii. The quality and efficiency of the shared parking would be comparable to the level that is otherwise required.
2. **Shared Parking Agreement Is Required.** The Administrative Permit shall include a condition requiring the applicant to submit a signed agreement between the applicant and the other property owner(s) providing the off-street parking spaces that are subject to the shared parking arrangement, with the County included as a third party beneficiary to the agreement. The agreement, titled "Shared Parking Agreement," shall be subject to the approval of the Director as to form and content and shall be recorded with the Office of the County Recorder. The Shared Parking Agreement shall meet recording requirements of state statutes and contain the Director's signature as to form and content, current contact information, the property's address, and the County Assessor's parcel number for the property.

3. **Parking Study.** The Director may require the applicant to submit a parking study, prepared by a qualified traffic or parking consultant, to assist the Director in determining the appropriate shared parking reduction. For existing development where new or different uses are proposed, the base parking demand may be based on either the County Parking Regulations parking ratio or on a detailed survey of actual parking demand for the active uses on the site. If a field survey approach is used, the study shall apply appropriate seasonal demand adjustments to determine the peak parking demand.
  
4. **Allowable Walking Distances For Shared Parking.** The shared parking arrangement will be more effective the closer shared parking spaces are to the uses they serve. The Director shall review and determine that the shared parking spaces are generally within the following desired maximum walking distances for customers/visitors and employees:
  - i. Customers/Visitors – 600 feet
  - ii. Employees – 1,000 feet

**Section 23.** Section 6785 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6785      **RELATIONSHIP OF REQUIRED PARKING TO BUILDING SITE.**

All required parking and bicycle spaces shall be located on the same legal parcel with the use or structure they are intended to serve, unless the site on which they are located is subject to the Village Parking Regulations in Section 8000, meets the provisions of Section 6788, or the site meets all of the following conditions:

- a. There is a traversable pedestrian route, not more than 600 feet in length over and along public streets or walkways or permanently established easements between the parking or bicycle spaces and the uses or structures to be served.
- b. The site is already zoned S86 Parking Use Regulations or, all persons owning an interest in the site shall execute and record an agreement not to oppose a reclassification to the S86 Parking Use Regulations and then shall make application and pay the fees for this reclassification.

**Section 24.** Section 6794 of the San Diego County Zoning Ordinance is hereby renumbered to Section 6786 and is hereby amended to read as follows:

6786      **LOADING SPACES.**

Loading spaces shall be 10 feet wide by 35 feet long. All buildings containing commercial or industrial use types, hospitals, or institutions hereafter constructed, converted, established, or enlarged to increase their floor area shall be provided with loading spaces as follows:

a. Number of Loading Spaces.

Total Floor Area on Parcel  
(Other than floor area  
devoted to office uses)

Number of Loading Spaces

Less than 5,000 square feet	0
5,000 to 19,999 square feet	1
20,000 to 39,999 square feet	2
40,000 to 79,999 square feet	3
80,000 square feet and over	4 plus 1 space for each additional 50,000 square feet

- b. Access. Loading spaces shall have safe and adequate means of ingress and egress for trucks to and from a public street or alley and through the parking area.
- c. Exemptions. Notwithstanding the provisions of this section, mini-warehouses shall be exempted from the loading space requirements.
- d. Exceptions. Notwithstanding the requirements set forth in subsections a. and b. above, loading spaces for uses conducted pursuant to a use permit, Historic District Site Plan, or community design review Site Plan in a Special Parking District, shall be determined in accordance with Sections 6782 and/or 6783.

**Section 25.** Section 6787 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

**6787 LOCATION OF PARKING AND BICYCLE SPACES ON A BUILDING SITE.**

- a. Open Parking. Except as provided in Paragraph d. below, open parking spaces shall be outside the ultimate right-of-way of any street. Refer to Section 6700 et seq. for fencing and screening requirements. Open parking spaces shall be located as follows:

**ZONE/USE REGULATION**

**PERMITTED LOCATION**

Residential & Agricultural Zones S80, S81, S88, S90, S92 Use Regulations

Anywhere except in a required front or exterior side yard.

C30, C31, C46 Use Regulations

Anywhere except in a required front yard.

Other Commercial Zones, Industrial Zones, S82, S86, and S94 Use Regulations.

Anywhere except in a required landscaped area.

Village Zones

See Section 8000 et seq.

- b. Covered Parking. Covered or enclosed parking spaces may be located anywhere on a building site where a structure may be located. In the Fallbrook Village Zones 1 through 4, covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building.

- c. **Bicycle Spaces.** Bicycle spaces shall be located:
  - 1. No farther than 100 feet from the visitors' entrance and be readily visible. (Refer to 2010 California Green Building Standards Code Section 5.106).
  - 2. At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
  - 3. As close to building entrances as is practical without interfering with pedestrian traffic.
  - 4. At ground level.
- d. **Exceptions.** A use permit, Variance, Administrative Permit, or historic district site plan may specify the location of parking areas and bicycle spaces in locations other than as required by Paragraphs a. and c. above with the required finding that the exception to the bicycle spaces or open parking regulations does not create a safety hazard with site distance for access to the site.

**Section 26.** Section 6788 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

**6788 COLLECTIVE PROVISION OF OFF-STREET PARKING AND ACCESS.** Collective off-street parking facilities that serve two or more uses or structures sharing a common lot line in locations subject to commercial, industrial, or S86 Use Regulations are allowed subject to the following requirements:

- a. The total parking spaces in such collective off-street parking facilities shall not be less than the sum of the requirements for the individual buildings or uses computed separately in accordance with the County Parking Regulations, unless a permit approved pursuant to this section specifies another amount.
- b. **Collective Parking Agreement Is Required** – The applicant must submit a signed agreement between the applicant and the property owner(s) providing the collective parking spaces, with the County included as a third party beneficiary to the agreement. The agreement shall grant an easement(s) for public utility purposes, ingress and egress to and from adjacent public right-of-way, access and parking necessary to provide the required collective parking spaces. The agreement shall also provide for the use and maintenance of the collective parking area. The agreement, titled "Collective Parking Agreement," shall be subject to the approval of the Director as to form and content and shall be recorded with the Office of the County Recorder. The Collective Parking Agreement shall meet recording requirements of state statutes and contain the Director's signature as to form and content, current contact information, the property's address, and the County Assessor's parcel number for the property.
- c. **Parking Information.** The Director may require the applicant to submit parking information on the uses and the associated number of parking spaces required, by the County Parking Regulations, a permit or another parking agreement, for each of the properties involved in the collective parking agreement.

**Section 27.** Section 6790 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6790      **PARKING PLAN REQUIREMENTS.**

Where required, parking plans submitted to Planning & Development Services shall demonstrate compliance with the County Parking Regulations and include the following, at a minimum:

- a. The number of parking spaces required for each land use
- b. The total number of parking spaces required and provided
- c. The number of accessible car spaces required and provided
- d. The number of bicycle parking spaces required and provided
- e. The percent of area devoted to landscaping
- f. For multi-family residential projects, the distribution and proximity of parking spaces in relation to residential entrances

Additional information may be required by the Director as necessary to determine compliance with parking regulations.

**Section 28.** Section 6792 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6792      **DESIGN STANDARDS FOR OFF-STREET PARKING.**

The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the County Parking Regulations. Practical guidance for how to comply with the County Parking Regulations is provided by the County Parking Design Manual.

- a. **Parking Space Dimensions.** Each required parking space shall be at least 9 feet wide by 18 feet long, with adequate provisions for ingress and egress by a standard full size passenger vehicle. The width of a parking space shall be increased by 2 feet when adjacent to fences, walls, and planters. Parking spaces in parking lots shall comply with the minimum dimension requirements in Table 6792.1 and Figure 6792.1. All driveways and curb openings shall be a minimum of 3 feet from any obstruction, i.e. poles, hydrants, buildings, walls, and fences.
- b. **Parking Aisles.**
  - 1. **One-Way and Two-Way Traffic Aisles.** One-way access driveways leading to aisles within a parking area shall be a minimum of 12 feet wide. Two-way aisles and access driveways leading to aisles within a parking area shall be a minimum of 24 feet wide. Minimum aisle widths for one-way drive aisles within a parking area are shown in Table 6792.1 and Figure 6792.2. A typical parking lot layout is illustrated in Figure 6792.3.

2. Fire Access Aisles. Designated fire access aisles must comply with the County's Consolidated Fire Code and/or the Fire Authority Having Jurisdiction. Minimum unobstructed fire access width is 24 feet. Vertical clearance minimum is 13 feet 6 inches. The Fire Authority Having Jurisdiction may require greater dimensions.
3. Truck Aisles. Access aisles for multiple-axle trucks in commercial and industrial projects shall be a minimum width of 40 feet for projects with a gross floor area of 10,000 square feet or greater or where the design of the project includes a loading dock. Truck movement templates (i.e. turning radii elements including wheel paths, which define the needed width of pavement edge that must be clear from obstructions above curb height) shall be included on the site plan to indicate turning conditions.

**Table 6792.1  
Minimum Parking Layout Dimensions**

Figures 6792.1 & 6792.3 Labels	Design Component	Parking Angle					
		0° (Parallel)	30°	45°	60°	90°	
A	Stall Width	9'(8') <sup>1</sup>	9'	9'	9'	9'	
B	Stall Length	22'	18'	18'	18'	18'	
C	Stall Width Parallel to Aisle	N/A	18'-0"	12'-9"	10'-5"	9'-0"	
D	Stall Depth to Curb or Wall	N/A	16'-10"	19'-1"	20'-1"	18'-0"	
E	Stall Depth to Interlock	N/A	12'-11"	15'-11"	17'-10"	18'-0"	
F	Aisle Width <sup>2</sup>	Fire Aisle	Per Fire Requirements				
		One-Way	13'	14'	16'	19'	N/A
		Two-Way	24'	22'	24'	24'	26'
G	Module Width Wall/Curb to Interlock	One-Way Aisle	N/A	43'-9"	51'-0"	46'-11"	N/A
		Two-Way Aisle	N/A	51'-9"	59'-0"	61'-11"	62'-0"
H	Module Width Interlock to Interlock	One-Way Aisle	N/A	39'-10"	47'-10"	54'-8"	N/A
		Two-Way Aisle	N/A	47'-10"	55'-10"	59'-8"	62'-0"
not shown in Figure 6792.1	Module Width Wall/Curb to Wall/Curb	One-Way Aisle	31'-0"	47'-8"	54'-2"	59'-2"	N/A
		Two-Way Aisle	42'-0"	55'-8"	62'-2"	64'-2"	62'-0"
I	Cross Aisle Width <sup>2</sup>	One-Way	15'	15'	15'	15'	15'
		Two-Way	22'	22'	22'	22'	22'

<sup>1</sup> 8' width applies to on-street parking stalls

<sup>2</sup> The Director may require greater aisle width due to emergency equipment access needs. Aisles 24' or greater shall be designated as Fire Access.

N/A – Not Applicable

Figure 6792.1  
Reference Drawing for Minimum Parking Dimensions

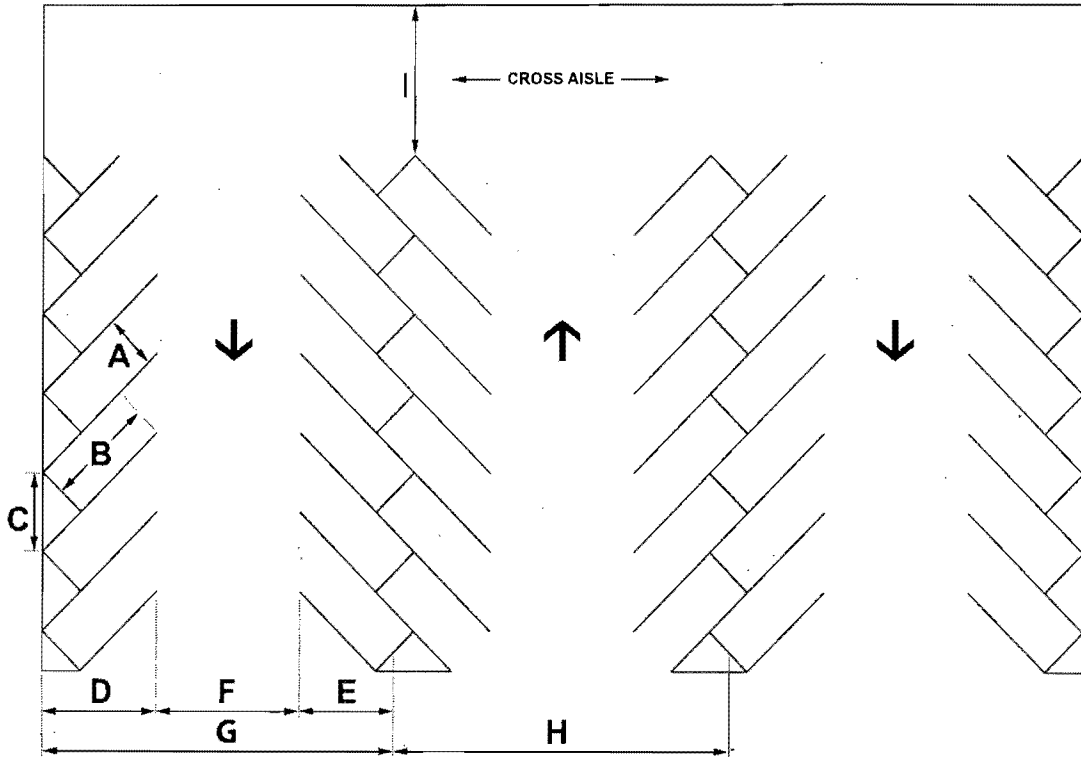
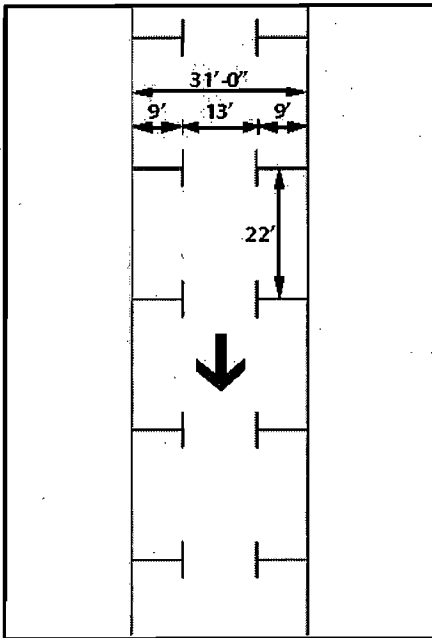
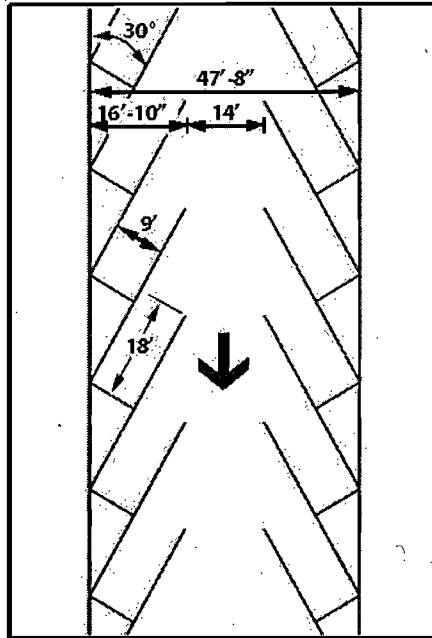


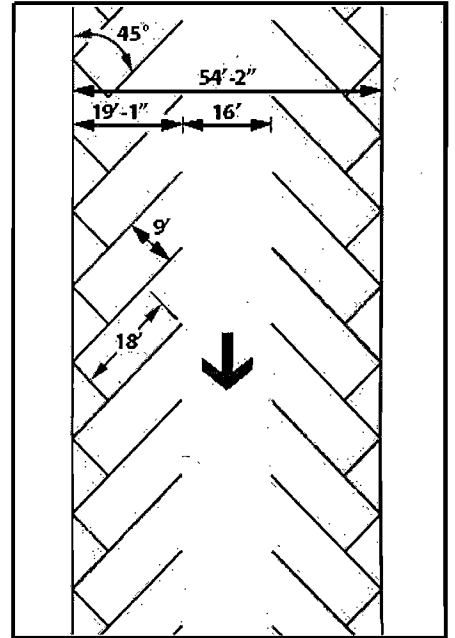
Figure 6792.2  
Minimum Dimensions for Common Parking Lot Layouts



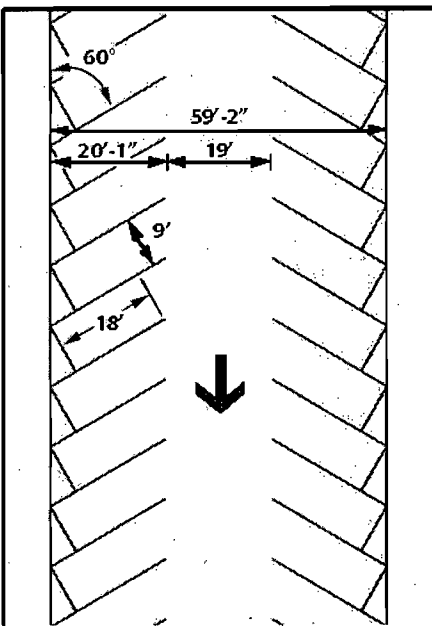
0° Parallel Parking Spaces



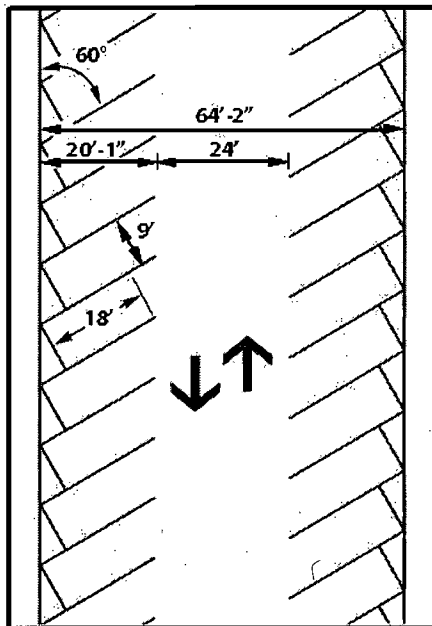
30° Parking Spaces



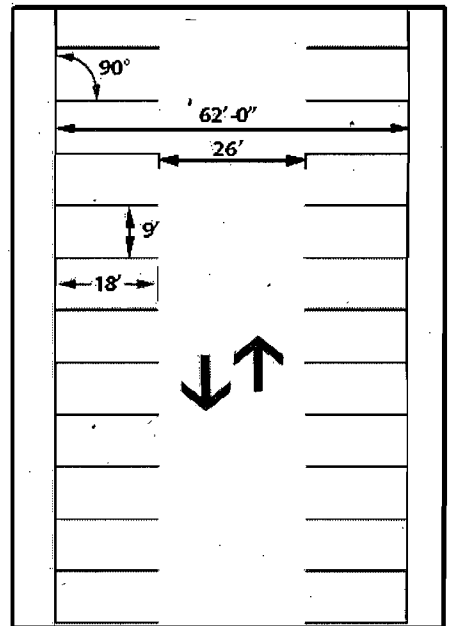
45° Parking Spaces



60° Parking Spaces  
One - Way



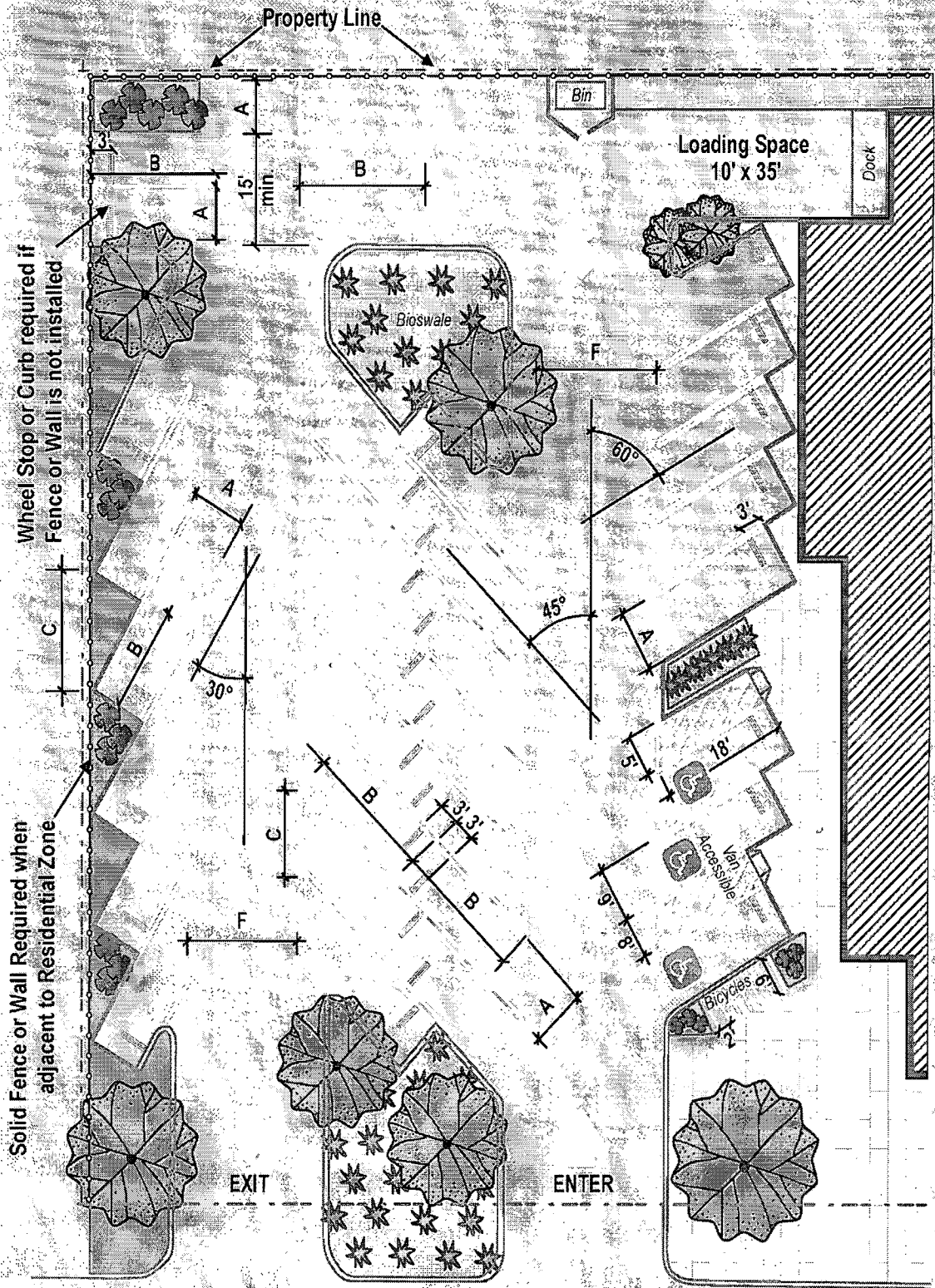
60° Parking Spaces  
Two - Way



90° Parking Spaces



Figure 6792.3  
Example of Parking Lot Angles and Dimensions



4. Drive-Through Aisles. All projects which feature drive-through facilities (bank, fast-food, etc.) shall provide a drive-through aisle capable of a reasonable queuing of vehicles without impeding the circulation of traffic within the parking area or abutting driveway or street travel way. Drive-through aisles should not cross pedestrian pathways and be clearly designated with striping and/or signage. See the Schedule of Parking Requirements for specifications.

c. Parking Details.

1. Surfacing. Except for zones subject to the Agricultural Use Regulations, all parking spaces, loading spaces, and driveways shall be hard surfaced with durable asphalt concrete or Portland Cement Concrete surfacing on a suitably prepared base. Parking spaces and driveways accessory to single-family and duplex dwellings need not be surfaced with a more durable type of surfacing than that which exists on the access street. Driveways and aisles designated for "fire access" must be capable of supporting fire apparatus (minimum 50,000 pounds) unless a greater minimum is required by the Fire Authority Having Jurisdiction.

Table 6792.2 summarizes the required paving thickness of A/C and base according to soil classification, and shall be used unless a suitable alternative pavement design by a registered civil engineer is submitted and approved by the Director. Soil classifications are as established based on the R-value, or resistance value, which identifies the strength of soil from vertically applied pressure. R-value is a factor used in pavement design in the San Diego Regional Standard Drawings to determine the necessary thickness of paving required. Soil classifications identified in Table 6792.2 are established as follows:

Good to Excellent Subbase: soil with an R value of 40 or greater.

Medium Subbase: soil with an R value of 20 to 39

Poor Subbase: soil with an R value less than 20

Where permeable surfacing alternatives are desired or required to protect surface water quality and/or implement Low Impact Development practices, an alternative design which demonstrates adequate material strength, satisfaction of local and regional standards, and community character preferences may be approved pursuant to Section 6795. Structural equivalence should be demonstrated based upon published criteria by Caltrans or AASHTO.

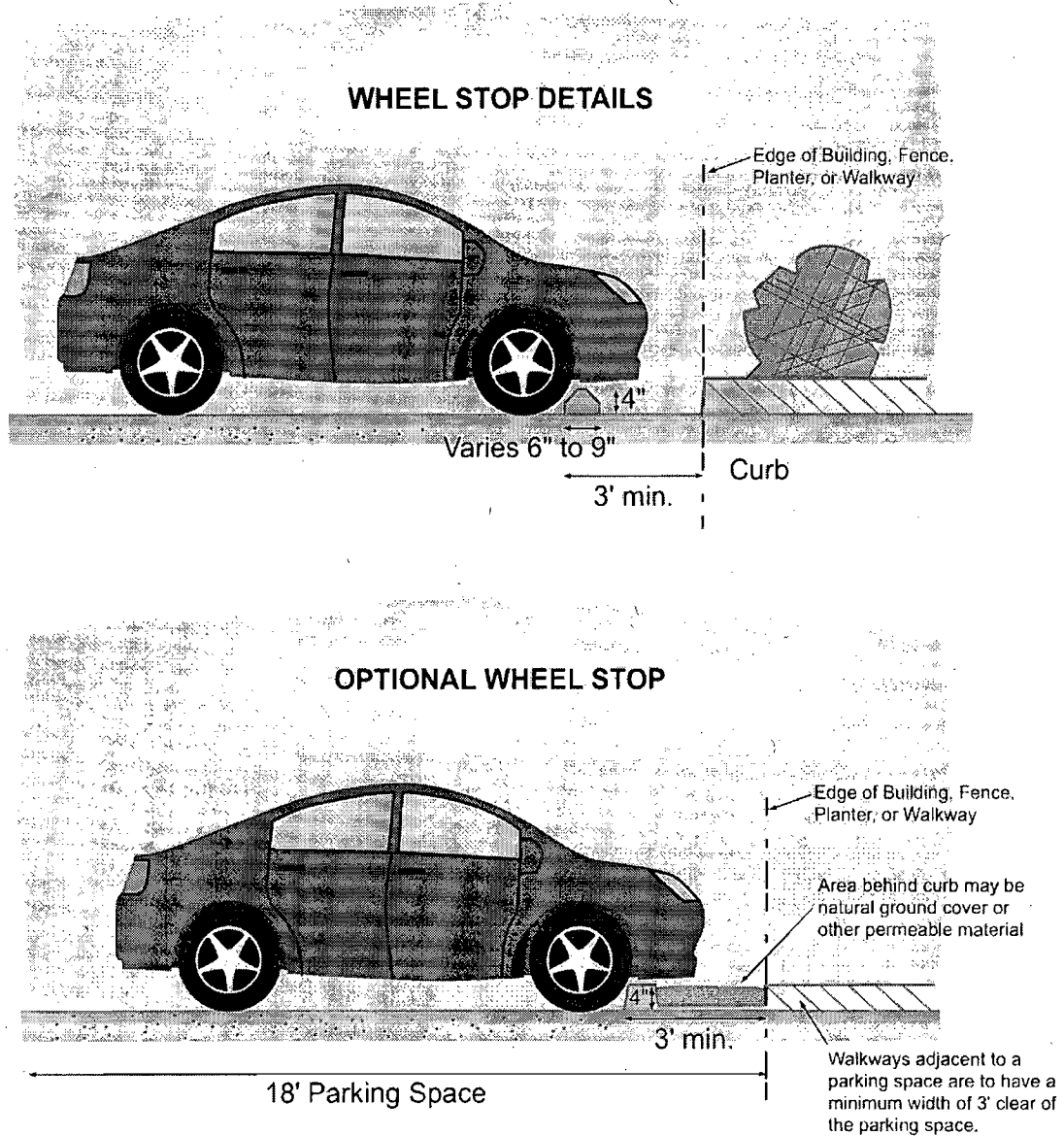
Within the desert areas of the North Mountain, Mountain Empire, and Desert Subregional Plan areas, 4 inches of decomposed granite or suitable alternate material may be approved pursuant to Section 6795 in lieu of more durable paving on residential driveways.

**Table 6792.2  
Required Thickness of A/C and Subbase**

Existing Soil Classifications	Residential Parking (≤4 spaces)	Multi-Family Commercial Frontage Parking	Commercial Truck Loading and Parking
<b>GOOD TO EXCELLENT BASE</b> Decomposed granite, well graded sands and gravels which retain load supporting capacity when wet	2" A/C on existing soil	3" A/C on existing soil	3" A/C on 5" aggregate base or 4" A/C on aggregate base or 5" A/C on existing soil
<b>MEDIUM BASE</b> Silty sands and sand gravels containing moderate amounts of clay and fine silt. Retains moderate amount of firmness under adverse moisture conditions	2" A/C on 6" of decomposed granite base or 3" A/C on 3" aggregate base or 4" on existing soil	3" A/C on 5" aggregate base or 4" A/C on 3" aggregate base or 5" on existing soil	3" A/C on 7" aggregate base or 4" A/C on 5.5" aggregate base or 6" A/C on existing soil
<b>POOR BASE</b> Soils having appreciable amounts of clay and fine silt. Soils become quite soft and plastic when wet	3" A/C on 5.5" aggregate base or 5" A/C on existing soil	3" A/C on 8" aggregate base or 4" A/C on 5.5" aggregate base or 6" A/C on existing soil	3" A/C on 12" aggregate base or 4" A/C on 10.5" aggregate base or 8" A/C on existing soil

2. Vehicular bumper overhang is prohibited in all areas where the parking stall is adjacent to a fence, wall, building or structure, to a pedestrian walkway of less than 7 feet in width, to planter beds (unless the first 3 feet from curb is low volume or subsurface irrigation or is a non-irrigated material), or to an interlocking parking space.
3. Wheel Stops. If a wheel stop is used in the parking stall, it shall be 4 inches high and 4 to 6 feet long. The distance from the front end of the space to the rear of the wheel stop shall be 3 feet. It shall be placed so as to avoid bumper overhang beyond the designated parking space and to avoid creating a safety hazard for pedestrians. Figure 6792.4 illustrates typical wheel stop dimensions
4. Striping. All parking spaces shall be delineated by striping consisting of 4 inches wide painted white lines.

**Figure 6792.4**  
**Example of Wheel Stop Dimensions**



5. Bicycle Parking. Newly constructed non-residential uses shall provide bicycle parking in accordance with the 2010 California Green Building Standards Code Sections 5.106.4.1 and 5.106.4.2. The 2010 California Green Building Standards Code provides standards for the provision of both short-term bicycle parking for visitors and long-term bicycle parking for building tenant-occupants.

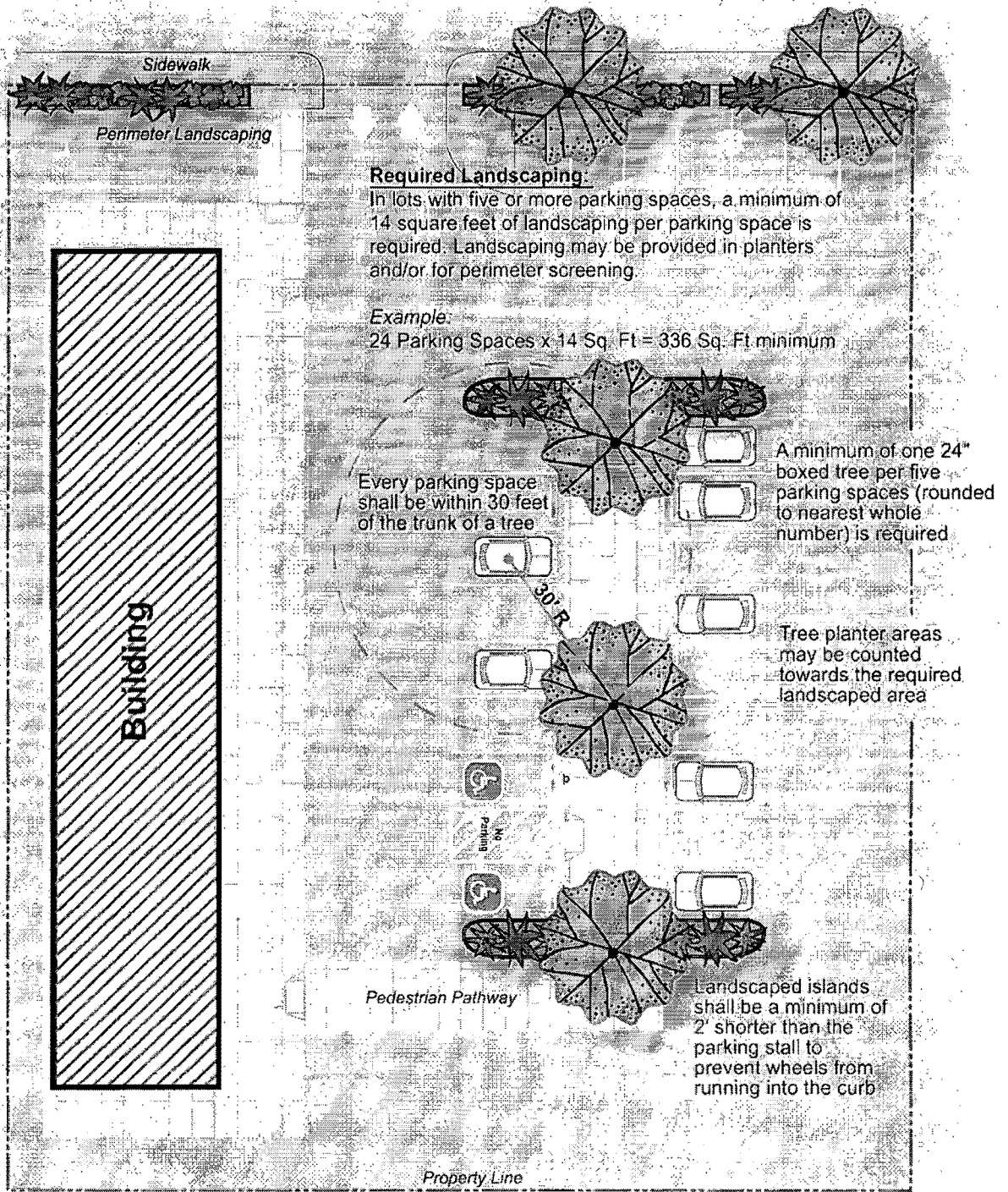
One bicycle parking space shall consist of a floor area at least 2 feet wide and 6 feet long, served by an aisle at least 5 feet wide for bicycle spaces which are not divided into individual lockers or racks. Bicycle racks should be so designed and constructed that a bicycle can be securely locked with a user-supplied padlock. Racks shall provide a space at least 2 feet in width for each bicycle.

6. Tandem Parking. Tandem parking represents a parking configuration where one vehicle parks directly behind another and the vehicle in back must be moved in order for the front vehicle to leave. Tandem parking shall be limited to a maximum of two cars in depth and should be 9 feet wide and 36 feet long. When determining access aisle widths for tandem parking, the aisle widths for standard stalls should be used. Parking spaces for persons with disabilities shall not be used in a tandem configuration.

Tandem parking stalls are only allowed for:

- i. Residential use – single family, duplex, and townhome uses.
  - ii. Multi-family residential uses – subject to the following conditions:
    - a) The tandem spaces should be reserved for and assigned to dwelling units which are required to have two or more parking spaces.
    - b) Tandem spaces shall not be used for guest parking.
  - iii. Commercial uses – Tandem spaces should not be allowed for new commercial construction. Tandem spaces may only be allowed for pre-existing commercial buildings or pre-existing buildings that are undergoing a change of use and are subject to the following conditions:
    - a) The tandem spaces should be reserved for use by employees and should be designated for employee parking through the use of signage or pavement marking.
    - b) At least 50 percent of the require spaces should be unassigned standard (non-tandem) spaces that are available for the use of visitors.
7. Clean Air Vehicle Parking. In accordance with the 2010 California Green Building Standards Code, newly constructed non-residential uses shall provide designated parking for any combination of low-emitting, fuel efficient and carpool/van pool vehicles. Parking spaces provided for clean air vehicles will be credited towards the minimum parking requirements of the Zoning Ordinance.
- d. Lighting. Adequate lighting shall be provided in all parking areas used by the public for safe pedestrian and vehicular movement. A Lighting Plan for parking lot sites with 5 or more parking spaces shall be provided. Lighting should clearly identify the parking lot, entrances and exits to adjacent streets, and enhance the pedestrian environment. Lighting Plans should be appropriate to the location, context and scale of the areas being lit.
  - e. Landscaping. Landscaping shall comply with Figure 6792.5 and the following requirements:

**Figure 6792.5**  
**Landscaping Requirements in Parking Lots**

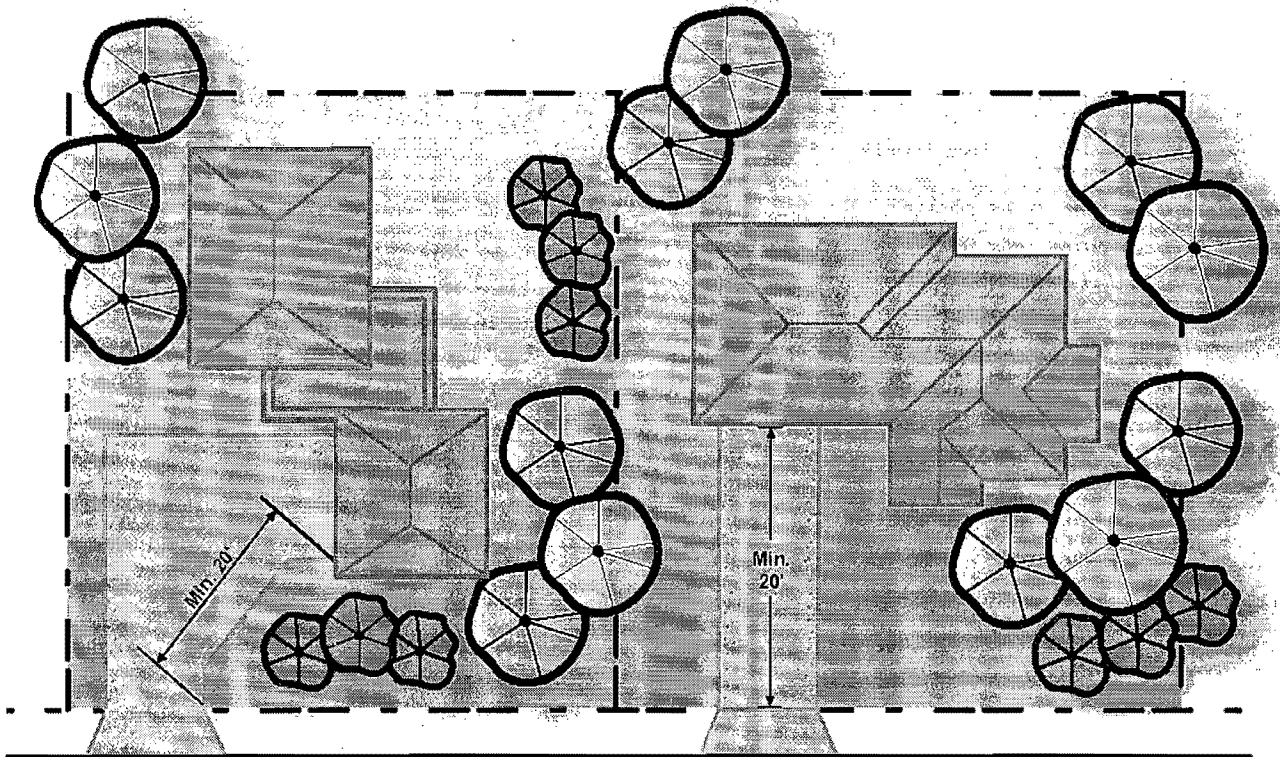


1. In parking areas with 5 or more parking spaces, a minimum of 14 square feet of landscaping shall be provided per parking space. Landscaping may be provided in parking lot planters and/or for perimeter screening. Parking lot landscaping shall be provided in addition to other landscaping requirements in the right-of-way or setback areas by the M50 and M52 Use Regulations, by any other Ordinances or as a condition of a discretionary application approval. Within the Fallbrook Village areas, see Section 8000 et seq. of the Zoning Ordinance.
  2. A minimum of one 24 inch boxed tree per 5 parking spaces is required for a parking area.
  3. Planter strips with shrubs shall have a minimum unpaved width of 2 feet. Planter strips with trees shall have a minimum unpaved width of 5 feet. Where feasible, planter strips should be concave to help channel stormwater runoff.
  4. High shrubs or small trees may be used for perimeter planting, except at driveway entrances where plant material shall be positioned to avoid obstructing motorist views and be sensitive to sight distance requirements.
  5. Trees along designated fire access roads/driveways/aisles shall provide a minimum 13 feet 6 inches vertical clearance for the full fire access width.
  6. Landscape islands located at the end of parking aisles shall be a minimum of 2 feet shorter than the parking stall length to prevent wheels from running into the curb when turning into or backing out of a space.
- f. Residential Parking for Detached Single Family, Duplexes, and Triplexes
1. Driveways. A residential driveway shall have a minimum length of 20 feet between the garage door and public right-of-way. Reduced driveway lengths may be permitted for driveways on private roads pursuant to project approval provided it can be shown that the reduced driveway length does not interfere with a sidewalk or other designated pathway. Figure 6792.6 illustrates the minimum length for residential driveways.
 

Driveways with a grade greater than 15 percent shall be hard-surfaced and have a deep broom finish perpendicular to the direction of travel. Driveways which serve as required fire access must meet additional requirements specified in the applicable Fire Code.

Where driveways cross existing roadside ditches, a dip section providing an unobstructed waterway equivalent to the full area of the ditch may be used if grades are feasible. Where grades make use of a dip section infeasible, a culvert pipe shall be installed. The size of the culvert pipe and design of the driveway culvert shall be reviewed for adequacy by the Department of Public Works.
  2. Garages. For all enclosed residential garages, a minimum parking space size 10 feet wide by 20 feet long is required for parking spaces where the length of the space is next to a wall and 9 feet wide by 20 feet long for any additional spaces. The space(s) should be designated to be free from obstruction (i.e. water heater, laundry equipment, etc.).

**Figure 6792.6  
Minimum Length for Residential Driveways**



**Section 29.** Section 6793 of the San Diego County Zoning Ordinance is hereby repealed.

**Section 30.** Section 6795 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6795 WAIVER, MODIFICATION, VARIANCE FROM PARKING REGULATIONS.

The requirement for design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas may be administratively waived or modified by the Director when practical difficulties make their strict application infeasible and upon a finding that the waiver or modification is consistent with the purpose and intent of Section 6792. Any other waiver or modification of these Parking Regulations shall be allowed only in accordance with the Variance Procedure commencing at Section 7100, unless otherwise specified.

**Section 31.** Section 6799 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

6799 PARKING OF COMMERCIAL VEHICLES IN RESIDENTIAL, AGRICULTURAL AND CERTAIN SPECIAL PURPOSE ZONES.

No person shall park any commercial vehicle in excess of one ton capacity on private property in Residential, Agricultural and the S90 and S92 Special Purpose Zones except as follows:

- a. When loading or unloading property, or



- b. When such vehicle is parked in connection with, and in aid of, the performance of a service to or on property in the block in which such vehicle is parked.

These exceptions do not authorize parking in violation of Fire Lane parking restrictions as detailed in the California Vehicle Code Section 22500.1.

Notwithstanding the above provisions, no commercial vehicle shall remain parked in excess of five consecutive hours. Section 6799 does not apply to recreational vehicles or farm vehicles or equipment, including maintenance equipment, necessary for agricultural production on the property where the vehicles and equipment are parked. In Agricultural Zones and the S90 and S92 Special Purpose Zones, a maximum of two vehicles of up to two tons capacity may be parked by a person owning said vehicles and owning the property where they are parked and who is conducting a commercial agricultural operation located on site or elsewhere.

**Section 32.** Section 8130 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

8130            PARKING REGULATIONS

- a. Purpose and Intent. The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance existing zero front yard setback development patterns in the traditional downtown commercial district consistent with the Fallbrook Design Guidelines. To achieve this purpose, all of the Village 1 Zone is located in the Fallbrook Special Parking District with provision for meeting parking requirements in shared parking lots.
- b. Parking Requirements. All of the V1 Zone is included in the Fallbrook Special Parking District (see Zoning Ordinance Section 5761). In the V1 Zone, the number of spaces required by the Parking Schedules in Sections 6758 through 6783 may be reduced up to 25%.
- c. Relationship of Required Parking to Building Site. Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. The parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 900 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director.
- d. Location of Parking on Building Site.
  - 1. Bicycle Spaces. Bicycle spaces, if provided, shall be located:
    - a) No farther than 100 feet from the visitors' entrance and be readily visible. (Refer to 2010 California Green Building Standards Code Section 5.106).

- b) At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
  - c) As close to the building entrances as is practical without interfering with pedestrian traffic.
  - d) At ground level.
2. Covered Parking: Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot. This provision does not apply to any shared parking lot provided pursuant to Section 8130 c. that does not have a building on the same legal parcel.
  3. Open Parking. Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does not apply to any shared parking lot provided pursuant to Section 8130 c. that does not have a building on the same legal parcel.
  4. Exceptions. A Use Permit, Variance, or Administrative Permit may specify the location of parking areas and bicycle spaces in locations other than as required by Section 8130 d. 1 – 3 above.
- e. Parking Space Dimensions.
1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.
  2. Accessible Parking. At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the California Building Code. Such spaces shall be located along the shortest accessible route of travel between such spaces and the entrance of the use or structure, and shall be reserved and designated for disabled persons. The total number of required accessible spaces shall be that specified by the California Building Code as contained in Title 24 of the California Code of Regulations.
- f. Design Standards for Off-Street Parking. Parking spaces and areas shall meet the following design and improvement standards:
1. Surfacing. All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in Section 6792 of the Zoning Ordinance. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
  2. Landscaping. An internal area equivalent to a minimum of 5 percent of the total parking area shall be landscaped in conformance to the requirements of the Fallbrook Design Guidelines and the County Water Conservation in Landscaping Ordinance.

3. **Parking Design.** The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding that the waiver or modification is consistent with the purpose and intent of this section.

**Section 33.** Section 8230 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

8230            **PARKING REGULATIONS**

- a. **Purpose and Intent.** The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance existing zero front yard setback development patterns in the traditional downtown commercial district, consistent with the Fallbrook Design Guidelines. To achieve this purpose, all of the Village 2 Zone is located in the Fallbrook Special Parking District with provision for meeting parking requirements in shared parking lots.
- b. **Parking Requirements.** All of the V2 Zone is included in the Fallbrook Special Parking District (see Zoning Ordinance Section 5761). In the V2 Zone the number of spaces required by the Parking Schedules in Section 6758 through 6783 may be reduced up to 25%.
- c. **Relationship of Required Parking to Building Site.** Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. The parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 600 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director.
- d. **Location of Parking on Building Site.**
  1. **Bicycle Spaces.** Bicycle spaces, if provided, shall be located:
    - a) No farther than 100 feet from the visitors' entrance and be readily visible. (Refer to 2010 California Green Building Standards Code Section 5.106.)
    - b) At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
    - c) As close to the building entrances as is practical without interfering with pedestrian traffic.
    - d) At ground level.

2. Covered Parking. Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot. This provision does not apply to any shared parking lot provided pursuant to Section 8230 c. that does not have a building on the same legal parcel.
  3. Open Parking. Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does not apply to any shared parking lots provided pursuant to Section 8230 c. that does not have a building on the same legal parcel.
  4. Exceptions. A Use Permit, Variance Or Administrative Permit may specify the location of parking areas and bicycle spaces in locations other than as required by Section 8230 d.1 – 3 above.
- e. Parking Space Dimensions.
1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.
  2. Accessible Parking. At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the California Building Code. Such spaces shall be located along the shortest accessible route of travel between such spaces and the entrance of the use or structure, and shall be reserved and designated for disabled persons. The total number of required accessible spaces shall be that specified by the California Building Code as contained in Title 24 of the California Code of Regulations.
- f. Design Standards for Off-Street Parking. Parking spaces and areas shall meet the following design and improvement standards:
1. Surfacing. All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in Section 6792 of the Zoning Ordinance. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
  2. Landscaping. An internal area equivalent to a minimum of 5 percent of the total parking area shall be landscaped in conformance to the requirements of the Fallbrook Design Guidelines and the County Water Conservation in Landscaping Ordinance.
  3. Parking Design. The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding that the waiver or modification is consistent with the purpose and intent of this section.

**Section 34.** Section 8330 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

8330            PARKING REGULATIONS

- a.     Purpose and Intent. The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance existing zero front yard setback development patterns in the traditional commercial district consistent with the Fallbrook Design Guidelines. To achieve this purpose, a portion of the Village 3 Zone is located in the Fallbrook Special Parking District and all of the Village 3 Zone provides for reduced parking requirements with provision for meeting parking requirements in shared parking lots.
  
- b.     Parking Requirements. The portion of the V3 Zone specified in Section 5761 b.1 is included in the Fallbrook Special Parking District (see Zoning Ordinance Section 5761). In the V3 Zone, the number of spaces required by the Parking Schedules in Sections 6758 through 6783 may be reduced up to 25%.
  
- c.     Relationship of Required Parking to Building Site. Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. The parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 600 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director.
  
- d.     Location of Parking on Building Site.
  - 1.     Bicycle Spaces. Bicycle spaces, if provided, shall be located:
    - a)     No farther than 100 feet from the visitors' entrance and be readily visible. (Refer to 2010 California Green Building Standards Code Section 5.106).
    - b)     At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
    - c)     As close to the building entrance as is practical without interfering with pedestrian traffic.
    - d)     At ground level.
  
  - 2.     Covered Parking. Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot. This provision does not apply to any shared parking lot provided pursuant to Section 8330 c. above that does not have a building on the same legal parcel.
  
  - 3.     Open Parking. Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does

not apply to any shared parking lot provided pursuant to Section 8330 c. above that does not have a building on the same legal parcel.

4. Exceptions. A use permit, variance or administrative permit may specify the location of parking areas and bicycle spaces in locations other than a required by Section 8330 d. 1 – 3.

e. Parking Space Dimensions

1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.
2. Accessible Parking. At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the California Building Code. Such spaces shall be located along the shortest accessible route of travel between such spaces and the entrance of the use or structure, and shall be reserved and designated for disabled persons. The total number of required accessible spaces shall be that specified by the California Building Code as contained in Title 24 of the California Code of Regulations.

f. Design Standards for Off-Street Parking. Parking spaces and areas shall meet the following design and improvement standards:

1. Surfacing. All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in Section 6792 of the Zoning Ordinance. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
2. Landscaping. An internal area equivalent to a minimum of 5 percent of the total parking area shall be landscaped in conformance to the requirements of the Fallbrook Design Guidelines and the County Water Conservation in Landscaping Ordinance.
3. Parking Design. The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding that the waiver or modification is consistent with the purpose and intent of this section.

**Section 35.** Section 8430 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

8430            PARKING REGULATIONS

- a.     Purpose and Intent. The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance existing zero front yard setback development patterns in the traditional commercial district consistent with the Fallbrook Design Guidelines. To achieve this purpose, all of the Village 4 Zone provides for reduced parking requirements with provision for meeting parking requirements in shared parking lots.
  
- b.     Parking Requirements. In the V4 Zone, the number of spaces required by the Parking Schedules in Sections 6758 through 6783 may be reduced up to 25%.
  
- c.     Relationship of Required Parking to Building Site. Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. For any property in the V4 Zone, the parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 600 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director.
  
- d.     Location of Parking on Building Site.
  - 1.     Bicycle Spaces. Bicycle spaces, if provided, shall be located:
    - a)     No farther than 100 feet from the visitors' entrance and be readily visible. (Refer to 2010 California Green Building Standards Code Section 5.106).
    - b)     At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
    - c)     As close to the building entrance as is practical without interfering with pedestrian traffic.
    - d)     At ground level.
  
  - 2.     Covered Parking. Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot. This provision does not apply to any shared parking lot provided pursuant to Section 8430 c. above that does not have a building on the same legal parcel.
  
  - 3.     Open Parking. Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does not apply to any shared parking lot provided pursuant to Section 8430 c. above that does not have a building on the same legal parcel.

4. Exceptions. A use permit, variance or administrative permit may specify the location of parking areas and bicycle spaces in locations other than a required by Section 8430 d. 1 – 3.
- e. Parking Space Dimensions.
1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.
  2. Accessible Parking. At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the California Building Code. Such spaces shall be located along the shortest accessible route of travel between such spaces and the entrance of the use or structure, and shall be reserved and designated for disabled persons. The total number of required accessible spaces shall be that specified by the California Building Code as contained in Title 24 of the California Code of Regulations.
- f. Design Standards for Off-Street Parking. Parking spaces and areas shall meet the following design and improvement standards:
1. Surfacing. All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in Section 6792 of the Zoning Ordinance. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
  2. Landscaping. An internal area equivalent to a minimum of 5 percent of the total parking area shall be landscaped in conformance to the requirements of the Fallbrook Design Guidelines and the County Water Conservation in Landscaping Ordinance.
  3. Parking Design. The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding that the waiver or modification is consistent with the purpose and intent of this section.

**Section 36.** Section 8530 of the San Diego County Zoning Ordinance is hereby amended to read as follows:

8530            **PARKING REGULATIONS**

- a. Purpose and Intent. The intent of the Fallbrook Village parking regulations is to ensure adequate off-street parking in relation to allowed uses and activities. The regulations are also intended to maintain and enhance compatibility with the adjacent residential uses consistent with the Fallbrook Design Guidelines. To achieve this purpose, all of the



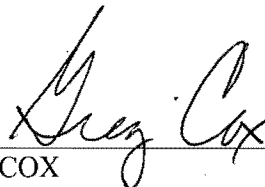
Village 5 Zone provides for reduced parking requirements with provision for meeting parking requirements in shared parking lots.

- b. **Parking Requirements.** In the V5 Zone, the number of spaces required by the Parking Schedules in Sections 6758 through 6783 may be reduced up to 25%.
- c. **Relationship of Required Parking to Building Site.** Required parking and bicycle spaces may be located on the same legal parcel with the use or structure they are intended to serve. For any property in the V5 Zone, the parking requirement may and should preferably be met through participation in a shared parking lot. Parking requirements may be fulfilled on-site or on any other property within 600 feet of the site requiring the parking. Evidence must be provided to the County that parking lot ownership shares have not been previously used or counted to meet the parking requirements for any other existing business. The parking spaces shall be tied to the property receiving the permit using a method acceptable to the Director.
- d. **Location of Parking on a Building Site.**
  - 1. **Bicycle Spaces.** Bicycle spaces, if provided, shall be located:
    - a) No farther than 100 feet from the visitors' entrance and be readily visible. (Refer to 2010 California Green Building Standards Code Section 5.106).
    - b) At least as close and accessible to the use or building served as is the most convenient motor vehicle parking (other than handicapped parking).
    - c) As close to the building entrances as is practical without interfering with pedestrian traffic.
    - d) At ground level.
  - 2. **Covered Parking.** Covered or enclosed parking spaces shall be outside the ultimate right-of-way of any street and shall be located in the rear half of the lot. This provision does not apply to any shared parking lot provided pursuant to Section 8530 c above that does not have a building on the same legal parcel.
  - 3. **Open Parking.** Open parking spaces shall be outside the ultimate right-of-way of any street and shall be located generally behind a building. This provision does not apply to any shared parking lot provided pursuant to Section 8530 c above that does not have a building on the same legal parcel.
  - 4. **Exceptions.** A Use Permit, Variance, or Administrative Permit may specify the location of parking areas and bicycle spaces in locations other than as required by Section 8530 d. 1 – 3 above.

- e. **Parking Space Dimensions.**
1. The minimum dimensions for parking spaces shall be as specified in Section 6792 of the Zoning Ordinance. The Director may require larger dimensions if he determines that larger dimensions are needed to provide safe and adequate parking in specific situations.
  2. **Accessible Parking.** At least one space of the required parking, if any, in any parking area shall be designed for accessible parking as specified in the California Building Code. Such spaces shall be located along the shortest accessible route of travel between such spaces and the entrance of the use or structure, and shall be reserved and designated for disabled persons. The total number of required accessible spaces shall be that specified by the California Building Code as contained in Title 24 of the California Code of Regulations.
- f. **Design Standards for Off-Street Parking.** Parking spaces and areas shall meet the following design and improvement standards:
1. **Surfacing.** All parking spaces or areas, loading spaces and driveways serving them shall be hard surfaced in accordance with the specifications set forth in Section 6792 of the Zoning Ordinance. The type of surfacing for proposed parking spaces and driveways shall be indicated on all plot plans that accompany Site Plan applications and building construction plans.
  2. **Landscaping.** An internal area equivalent to a minimum of 5 percent of the total parking area shall be landscaped in conformance to the requirements of the Fallbrook Design Guidelines and the County Water Conservation in Landscaping Ordinance.
  3. **Parking Design.** The design, dimensions, construction, landscaping, and surfacing of parking and bicycle spaces, driveways and other areas shall conform to the requirements of the Section 6792 of the Zoning Ordinance. The Director may administratively waive or modify one or more such requirements when practical difficulties make their strict application infeasible, and upon a finding that the waiver or modification is consistent with the purpose and intent of this section.

**Section 37. Effective Date.** This Ordinance shall take effect and be in force thirty (30) days after the date of its passage, and before the expiration of fifteen (15) days after its passage, a summary shall be published once with the names of the members voting for and against the same in the San Diego Commerce, a newspaper of general circulation published in the County of San Diego.

PASSED, APPROVED, AND ADOPTED by the Board of Supervisors of the County of San Diego this 6<sup>th</sup> day of February, 2013.




\_\_\_\_\_  
GREG COX  
Chairman, Board of Supervisors  
County of San Diego, State of California

The above Ordinance was adopted by the following vote:

AYES: Cox, Jacob, D. Roberts, R. Roberts, Horn

ATTEST my hand and the seal of the Board of Supervisors this 6<sup>th</sup> day of February, 2013.

THOMAS J. PASTUSZKA  
Clerk of the Board of Supervisors

By   
Elizabeth Miller, Deputy



Ordinance No. 10251 (N.S.)

02-06-2013 (2)